

FOR LEASE

PLUM CREEK PLAZA - OFFICE / FLEX / RESTAURANT SPACE



960 South I-25

For more information, please contact:

Matt Call

Brokerage Services

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City	Castle Rock
County	Douglas
LEASE	
Building Size:	21,568 SF
Space Available:	500 - 16,000 SF
Lot Size:	5.87 acres
Zoning:	I-1 / Light Industrial
Lease Rate:	
Office/Flex/Industrial:	\$7.00 - \$9.00 / SF / YR
Restaurant:	\$11.00 - \$13.00 / SF / YR
Lease Type:	
NNN Expense:	NNN \$3.00 / SF / YR

Property Information

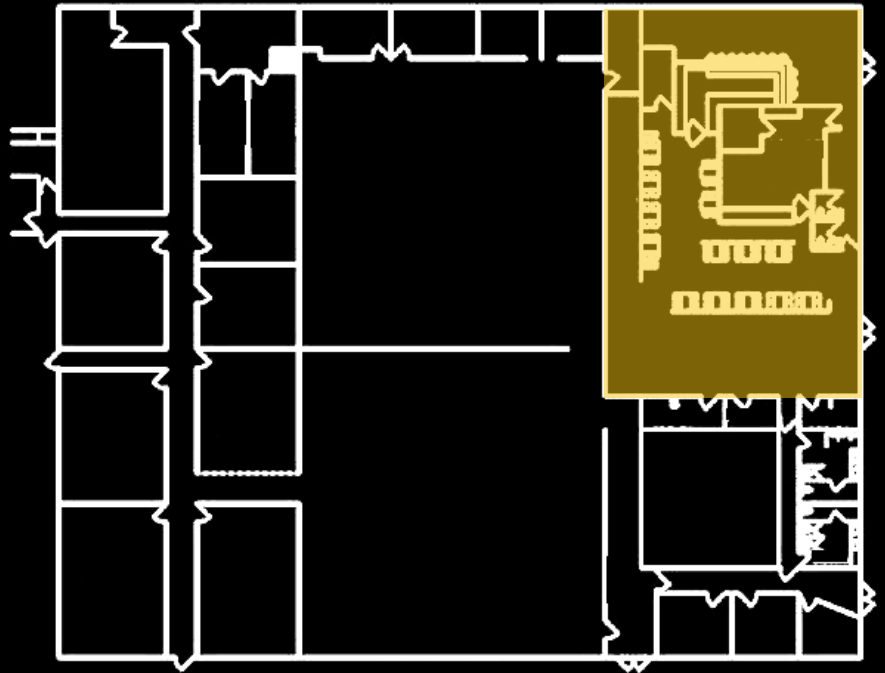
- ▶ Large site provides opportunity for development of highway pad sites
- ▶ I-1 zoning provides great flexibility for a variety of users
- ▶ Ideal for a call center or similar use
- ▶ 7 private offices as well as multiple call center rooms
- ▶ 5,000 SF turn-key restaurant space
- ▶ Excellent building and signage visibility from I-25

Edge Commercial Properties

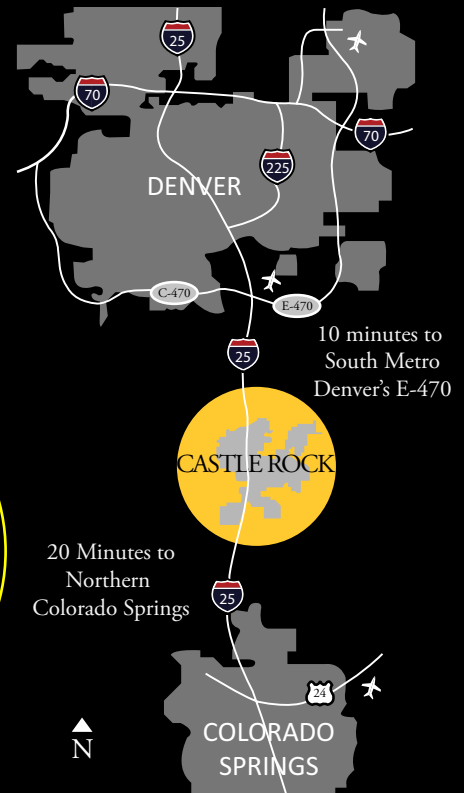
810 New Memphis Court | Castle Rock, CO 80108 | office 303.688.3332 | fax 303.468.0585
edgecommercialproperties.com

960 South I-25

Castle Rock, CO



= 5,000 SF of turn-key restaurant space



The information contained herein is from sources deemed reliable. We have no reason to doubt its accuracy but do not guarantee it. It is the responsibility of the person viewing this information to independently verify it. This package is subject to change, prior sale, or complete withdrawal.

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